



WOODHAVEN

E D G E M O N T

RSL Architectural Design Guidelines

Stage 2B – April 2021

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1 Objectives

The objective of these Design Guidelines for Woodhaven Edgemont Phase 2B (Single Family Homes – RSL) is to ensure the highest standard of visual appeal and image; ensuring compatibility among homes and integration of the community into the natural landscape. With an aim to limit repetition or extreme contrasts, the Developer reserves the right to decline a home design deemed not to be compatible with the intended architectural vision of the subdivision.

2 Architectural Theme

The selected architectural theme provides elements that can be incorporated within the following styles:

- **Tudor**
- **Craftsman**
- **Modern Heritage**

These architectural styles include covered entries, carefully detailed brick or stonework and substantial detailing that highlights the design style. These elements work together to achieve an interesting and appealing streetscape.

3 Streetscape

Care must be taken to integrate the home with special attention to the relationship with neighboring properties. Relative massing, siting and style will be of utmost importance in assuring each home compliments its neighbor and the surrounding development. Building massing, siting and style may be adjusted and/or alternate treatments requested to enhance the streetscape. Front entrance area roofing must be used to cover and protect the entry area at the first level or a height proportionate to the design. The style, width, height and detailing of entranceways will together create a sense of arrival, as well as articulate the design style of each home.

Homes will be reviewed on merits of design, massing proportion and compatibility. If the Design Consultant deems the plans are exceptional and conform to the trend of the neighbourhood, exceptions may be considered for approval.

4 House Size

Houses are to have a consistency of mass and volume within the streetscape. As such, house width and size must relate proportionately and logically to the lot width and neighboring homes.

The second-floor area should be carefully designed. Minimum exposed house frontage will be established based on the pocket size of the lot as per the table below. A maximum 2' pocket relaxation will be permitted.

House Size and Pocket Fill (RSL)

Minimum House Size	Minimum Exposed House Frontage	Maximum Garage Width
36'	12'	24'
32'	8'	24'
30'	6'	24'
28'	5'	23'
26'	5'	21'

**Note: Frontage calculations are based on home size not pocket width meaning that a 28' home with the noted calculations can be placed on a 30' pocket.*

Minimum home sizes shall be 1,500 sq. ft. for two storey and 1,200 sq. ft. for bungalow style homes.

A double car garage with a maximum 4 ft. garage offset will be considered to fill setback requirements. Triple car garages considered on a lot-by-lot basis only if carefully coordinated with existing street fixtures (i.e. service box, light posts etc). and only if the design is exceptional. Pre-approval of all proposed 3 car garages is required.

High visibility lots (Block 19: Lots: 10-34) must maximize the rear elevation to the equivalent of the front elevation (i.e. a 30' wide front elevation to have equivalent 30' wide rear elevation or a 26' rear elevation with a 4' garage offset).

Pie shaped lots will be reviewed on a lot-by-lot basis if an exception is required.

This design guide allows for homes to be built in excess of the minimum requirements noted above. However, the minimums provide the opportunity for variations in size which, when combined with landscaping considerations, will contribute to the ultimate character of the neighborhood.

Homes will be reviewed on their merits of design, massing, proportion, and compatibility. Exceptional plans which meet the general trend of the neighborhood, may be considered at the sole discretion of the Design Consultant.

5 Site Planning and Grading

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass as much as possible. Lot grading must be in strict conformance with the approved grading plan for the subdivision. For lots with a more dramatic change in terrain such as walk-out basement lots, there may be a requirement for special terracing and/or retaining walls. The purchaser shall be responsible for the design and construction of such retaining structures and must ensure design grades and lot drainage are not compromised.

Excessive setbacks due to home/lot choice are to be avoided and will be reviewed on a lot-by-lot basis.

Placement of homes on pie-shaped lots should be perpendicular to the chord of the arc to ensure adjacent neighbor compatibility where possible. Extreme home angled placements will be rejected.

If a retaining wall is required, it must consist of concrete or natural materials such as boulders (other materials may be considered at the discretion of the design consultant). If the retaining structure is greater than .9 m (3'-0") in height, it must be stepped to reduce the wall's visual mass. Retaining walls visible from high visibility areas (street, park, etc.) must have finished face and edge surfaces.

Special attention is to be given to the treatment of exposed concrete foundation walls. A maximum of 2' of parging will be permitted on all elevations of the homes. Variation in grade and basement design may require cladding material be lowered or extended to within 2' of ground level.

Front entry steps are to be a maximum of four risers per set. Where the grade requires more than four risers, the run must be split. Exceptions to this requirement may be granted in consideration of unique design, topography and lateral bracing concerns. If there are more than three risers per set, the step will be a minimum 4' wide with appropriate railing style.

6 House Repetition

Same / very similar front house elevations must not be repeated within two lots (X-O-A-X) or directly across the street. Flankage side elevations must not be similar to home directly behind or directly across the street. The same rear high visibility house elevations must not be repeated within two lots (X-O-A-X). Low visibility rear elevations cannot be the same as adjacent lots. Alternative elevations must reflect substantial modifications, i.e. change in rooflines, house style, wall planes, noticeably different sized windows, different materials etc. Repetitive use of elevations will be monitored to ensure an interesting and varied streetscape.

It is highly recommended that the same model is not placed adjacent to each other to meet this requirement.

7 Corner Lots

Houses on corner lots require special consideration. All models will be considered for corner lots based on their unique suitability for these locations. The flankage side's main roof should slope towards the side street where possible. The flankage side should have variation in wall planes (i.e. cantilever, Dutch gable etc.). Window placement and design detailing must be proportional to the wall surface. All flankage side window detailing must be upgraded as per the front elevation's windows (muntins, battens etc.). The front porch roof should have a finished end along the flankage side. Plain, non-upgraded flankage sides will be returned without review.

Proposed side entry on a flankage elevation shall be reviewed on a lot-by-lot basis ONLY if the entry door area is significantly upgraded.

The lots affected will be: Block 23: Lots 12 & 21

8 High Visibility Rear Elevation, Park Side and Walkway Side Lots

High visibility rear elevations require special design consideration. These elevations must have openings of a number and size that is suited to the wall area and incorporate detailing consistent with the front elevation and overall design including trims and rooflines. The lots affected are Block 19: Lots: 10-34.

The Homeowner may build the required high visibility rear deck ONLY if the Builder provides the DC a deck letter signed by the Homeowner stating, all deck requirements i.e. minimum 100 sq. ft., column size, etc. and MUST identify a completion date within the year of possession. Smaller rear decks may be reviewed if required. Unfinished decks will not be accepted. All park visible, vertical deck elements are to be stained or painted to match the home.

All balcony support columns greater than 3 ft. high and visible from parks (or chain link fence) must be a minimum 12"x12" and constructed with matching home material. Rear deck railings may be metal or glass (NO wood railings).

Park and walkway side elevations must enhance the 2nd floor (and above if a walkout lot) when visible from the park or walkway i.e. break up a flat wall with cantilever, add feature roofing, add window battens and muntins etc. The lots affected are Block 19: Lots 17, 19, 27 and 28.

9 Garage and Driveway

A maximum double attached garage is allowed under the massing guides identified in Section 4 and is to be located in accordance with the garage location plan. The garage roofs are to correspond to the overall design/style of the home. Triple car garages may be considered on a lot-by-lot basis only if carefully coordinated with existing street fixtures (i.e. service box, light posts etc). and the home design is exceptional. Pre-approval of proposed 3 car garages is required.

Garage overhead doors are to be carriage house, barn or heritage (glazing required on all elevations) and must be compatible with the selected house style. Builder shall provide an accurate garage door image (no standard) on front elevation submitted for approval.

Driveways and front walks are to be a minimum broom finished concrete, but may be exposed aggregate concrete, stamped concrete or broom finished concrete with stamped or exposed aggregate borders. Unit pavers are permitted as an accent or border material only. Driveway widths are not to exceed the width of the garage. The proposed driveway size must allow for all landscape requirements to be achieved.

Oversized driveways (i.e. 7.3 M wide or greater and/or longer than 8.5 M) shall be reviewed on a lot-by-lot basis and may require upgrading to a minimum exposed aggregate border (minimum 3' per side) or equivalent, if deemed required by the Design Consultant.

A maximum of 18" must be maintained between overhead garage door and the eave line. Where the height exceeds 18", special detailing may be required. Gable ends will require appropriate detailing to soften the visual impact accordingly. Corners of overhead door must be straight. NO angled corners permitted.

10 Design Elements, Exterior Colours and Materials

Black, grey and brown coloured (medium-dark toned) asphalt shingles required from one of the following Manufacturer (styles); Malarkey (Dura Seal, 25 year), BP (Harmony) or IKO Cambridge, (Renaissance). If the Builder proposes an alternative Manufacturer, roof samples (no 3-tabbed product) must be supplied if required by the Design Consultant.

Roof colour must be compatible with the selected colour scheme. The Design Consultant may request a change to the chosen roof colour if deemed another colour choice shall enhance the home.

Flashing must blend with asphalt shingle colour chosen. No galvanized flashing allowed.

Aluminum or equivalent soffit (minimum size, see Appendix "C") and aluminum rainware (gutters/downspouts) colours are to be compatible with wall and trim colour. Vinyl not approved.

The fascia (minimum 8") colour must be compatible with the wall colour or may be the same as the wall colour only if a significant amount of the home's trim / wall shake etc. colours are different than the fascia. High visibility, open gable fascia must be a minimum 8" Smartboard or equivalent (no aluminum or vinyl allowed). Aluminum may be used for low visibility fascia (covered) but only if matching the high visibility fascia colour.

Front gables must be proportional, style appropriate and should have materials that are different from the walls i.e. cedar like (no real cedar) wall shake detailing, vertical board and batten, false trusses/beams, louvers, brackets, etc. are preferred to large amounts of wall panel detailing.

Natural toned vinyl / composite wall shake colours are preferred, see Appendix “C”.

Wall colours must be noticeably different for 2 adjacent lots (i.e. lot 3=wall colour A therefore, lots 1, 2, 4 and 5 cannot be similar to wall colour A) and lots directly across the street (front elevation to front elevation or flankage elevation to flankage elevation). See Appendix “C” for approved wall colours and manufacturers.

Exterior cladding must be compatible with style chosen. Acceptable wall cladding: upgraded vinyl siding in “Traditional”, “Horizontal” or similar profile (Dutch Lap siding will **NOT** be permitted); Hardie Board (or equivalent), cedar like (no real cedar) vinyl shakes and masonry. A colour palette, which is style appropriate and neutral through to dark earth tones is preferred (see Appendix “C”). No bright, very light or primary wall colours will be considered.

Window styles and muntin bar configuration (decorative grills will be reviewed on a lot-by-lot basis) must be compatible with the selected architectural style. Style appropriate window and muntins detailing is required on all high visibility elevations (front, rear and flankage). Curved or circular style windows will not be permitted.

Battens, wall battens and all other trim detailing must be cement fiber product, Smartboard, etc. (NO aluminum/vinyl). Colours to be noticeably lighter or darker than the wall surface surrounding the trim. See Appendix “C” for acceptable trim colours. Two adjacent homes only, may have either the same or very similar masonry colour OR primary trim colour (but not the same or similar trim AND masonry).

All homes must have masonry. Masonry style and colour to be compatible with home style and colour scheme selected for the home. Brick will be allowed if used as a style-specific detail. Very contrasting masonry to the home’s colour palette should be avoided. No white, beige, light grey or red coloured masonry permitted. See Appendix “B” for masonry height required and Appendix “C” for the acceptable masonry colours Two adjacent homes only, may have either the same or very similar masonry colour OR primary trim colour (but not the same or similar trim AND masonry).

Garage door style to be carriage house, barn or heritage (glazing required on all elevations). Corners of overhead door must be straight – no angled corners permitted. The garage door(s) colour to be complementary to the home and to be noticeably lighter OR darker than the siding colour. Two-toned garage doors will be considered on a lot-by-lot basis. **NO** same, very similar wall colour or white coloured garage doors permitted.

ALL high visibility wood (PWF) vertical elements must be stained to complement wall or trim colour. PWF may be unstained if compatible with colour palette, which will be reviewed on a lot-by-lot basis.

11 Roof Pitch and Eaves

Roofs provide a unifying theme throughout the subdivision. The roof pitch and eaves are to correspond to the style of home as indicated in Appendix “B” – Styles. Bungalows will require a minimum of 7/12 pitch to enhance massing.

The porch and garage roof must blend with the style chosen and not appear to be ‘added on’ elements to the home.

Non-high visibility, side elevation main roof slopes proposed at a 5:12 pitch shall be reviewed on a lot-by-lot basis.

All cantilever, bay and box-out roof overhangs are to be proportionate and style appropriate to the design chosen.

The use of increased eave depth will be dependent on the overall home design and will be at the discretion of the Design Consultant. See Appendix “B” – Styles for minimum eaves required.

12 Front Entrance and Columns

The front entry must include one of: standard front door with a minimum top glass insert, transom, side light(s) or equivalent feature. Standard six-panel door (with no glass insert) accepted **ONLY** with transom or sidelight(s).

Front entry steps are to be a maximum of four risers per set. Where the grade requires more than four risers, the run must be split. Exceptions to this requirement may be granted in consideration of unique design, topography and lateral bracing concerns. If there are more than three risers per set, the step will be a minimum 4' wide with appropriate metal or glass railing style (no wood railings).

Front and/or other highly visible columns or posts are to be a minimum 12” x 12” and solid in appearance. Column details are to be consistent with the selected style of home. Columns are to be a minimum panel board and stone (vinyl siding and/or metal cladding on columns is not acceptable). Stepped/tiered columns will be accepted.

13 Fencing, Landscape and Other

13.1 Fencing

Fencing on all lots to be constructed by the Homeowner and shall be consistent in design and colour with the fencing style established for the community. All wood screen fences to be stained; **Cloverdale Autumn Sand EX201 colour.**

Typical wood screen fence will be a standard requirement, however park, pond and ravine backing lots have special fencing requirements as listed below:

For all ravine backing RSL lots where the Developer has provided a rear chain link fence it will be the responsibility of the Homeowner to install a step-down wood screen fence that extends 10' up the side yard connecting to the Developer's fence.

Please refer to Appendix "A" for fencing map and Appendix "D" for fence construction details.

13.2 Landscape

It is the responsibility of the Homeowner to landscape the yard. In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb or boulevard and to the rear corner of the house.

The **minimum** landscape standard for all lots shall be as follows:

Pocket Width	# Deciduous Trees	# Coniferous Trees	# Shrubs
26' - 36'	2	1	10

A minimum of one tree must be planted in the front yard. A maximum of 50% sod shall be used in the front yard. All front yards shall have a prepared shrub bed containing at least 10 shrubs. Shrubs shall be 18" in height or spread.

A minimum of 4 shrubs (of the 10 shrubs noted above) must be planted along the narrow driveway side from the garage edge to the front property line if using only mulch, rock, wood chip, etc. as the landscaping material.

Materials used such as mulch, rock and wood chip must be natural earth toned colours (i.e. NO whites, reds etc.).

The rear yard of all lots will require a minimum of sod. In addition, all high visibility lots (Block 19: Lots 10-34) require a minimum of 3 trees or 2 trees and 10 shrubs in the rear yard.

A prepared bed is defined by landscape edging (metal, vinyl, brick, concrete, etc.) with adequate coverage of plant material and contains mulch (rock, wood chip, etc.) for ground cover. In scenarios where the minimum plant material is unable to provide adequate coverage, additional plant material such as ornamental grasses, perennials or additional shrubs are to be placed throughout the bed to break up large areas of mulch (rock or wood). Large areas of rock or wood mulch will not be permitted in the front yard and highly visible rear yards. The minimum deciduous tree shall be 2.5" caliper - measured 6" above ground. Coniferous trees (spruce or pine) must be a minimum 6.5' (2 m) height.

If artificial turf is desired, it is to be designed with a distinct prepared shrub bed border between the turf and the property line. The shrub bed is to include adequate coverage of plant material that is in addition to the above minimum requirements. Artificial turf is to contain a minimum weight of no less than 95 ounces per square yard and a minimum blade height of 41mm (i.e. ezLAWN, ezLAWN, Elite, ezLAN Platinum) are acceptable. The base is to contain a minimum depth of 4" of 20mm road crush (compacted to 90% proctor density) with a sand or crushed limestone (fine) topping. The surface infill is to contain either a Silica sand and/or rubber infill. All artificial turf must be specified by the manufacturer as a pet-friendly product with a minimum 10 year warranty. Homeowners will be required to submit their artificial turf invoice prior to final inspection to verify that the specifications have been met.

In order for a Homeowner to obtain approval for landscaping varying from the Architectural Guidelines, the Homeowner must contact the Developer and submit a detailed sketch (prepared by a professional Landscape Architect) of the proposed landscape plan. The sketch must include the following:

- Legal land description: Block/Lot/Plan and address
- All materials that will be used in the landscape
- Identify the number, size, variety of **trees** and whether coniferous or deciduous
- Identify the number, size, variety of **shrubs** and whether coniferous or deciduous

Any onsite variations from the landscape requirements must be corrected at the Homeowner's expense. Re-inspections required due to deficiencies shall be charged a fee of \$250.00 + GST / re-inspection.

It is the responsibility of the Homeowner to ensure that their landscaping meets all City of Edmonton Zoning Bylaw Landscape requirements and all Architectural Design Guideline requirements.

All landscaping including front, rear, sides and fencing must be completed, in accordance with the requirements, within twelve months of completion of the house (subject to seasonal limitations). To ensure compliance with the landscaping requirements, a \$2,000.00 security deposit must be paid by the Purchaser, to be refunded by the Builder, upon confirmation of the satisfactory completion of the landscaping.

13.3 Address Plaque

A standardized address plaque, as per the detail provided by the Developer, is required for all homes. It shall be placed on the front of the garage in a visible location. It is recommended that the Builder show location of the address plaque on house approval applications. Alternate locations may be accepted at the discretion of the Design Consultant.

13.4 Accessory Buildings

The side wall elevations of all ancillary buildings and garden sheds shall not extend more than 6'. Where visible from a public adjacency (i.e. all perimeter lots and corner lots), accessory buildings must be consistent in style, finish and colour, with the house. Roof style and materials are to match the materials used on the roof of the house.

Sheds completed in an alternative plastic composite material will also be permitted in earth toned colours. Sheds containing unfinished wood are strictly prohibited. **Metal sheds are strictly prohibited.**

The following shed styles are acceptable, provided they are complementary to the style of the home:



The following are examples of sheds that will **NOT** be accepted:



13.5 Interpretation

The enforcement, administration and interpretation of the Design Guidelines shall be at the discretion of Rohit Land or its Designated Design Consultant. The unfettered application of these Guidelines shall be without notice or precedent.

14 Siting

14.1 Consultant

The Builder is to consult LotWorks and/or the Developer for all applicable drawings, and any special conditions.

14.2 City Regulations

The Builder is to ensure that all City of Edmonton bylaws and regulations are met and all relevant plans regarding rights-of-way and utilities are noted.

14.3 Grading

The Builder is to check Building Grade Plans and conform to them. Do not grade to existing vacant lots or unfinished lanes, but to elevations provided.

14.4 Plot Plans

The preparation of plot plans and stakeout must be carried out by the Designated Surveyor only. Plot plans must include:

- scale 1:300 metric with north arrow and municipal address, legal description of property
- all property lines designated and dimensioned, i.e. from property line to sidewalk and face of curbs etc.
- size and location of proposed building(s) dimensioned to property lines, existing building and other structure where applicable
- all cantilevers (including floor, bay windows, fireplaces, eaves, etc.)
- abutting streets, avenues, reserves, easements and utility right-of-way(s) labeled, dimensioned
- spot elevations around building and drainage directions

15 Subdivision Appearance

15.1 Signage

In order to maintain cohesiveness for signage within the subdivision, all signage will be supplied by the Developer (i.e. all model signs, directional signs and general information signs). All Builder signage must be approved by the Developer.

15.2 Excavation Material

All Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighbouring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses. There is absolutely no onsite disposal.

15.3 Clean-Up

Builders should encourage timely removal of all litter on building sites, by all sub-trades. Failure to comply will result in a clean-up fee being charged to the lot. Supply of bins by the Builder is recommended. Any general clean-up of the subdivision implemented by the Developer can and will be charged pro-rata to all Builders.

15.4 Construction Activity

Each Builder is responsible for inspecting the condition of curbs, sidewalks, street lights, services, etc. on their lots and must submit written notice of any damages to the Developer prior to commencing construction, otherwise costs for repairing any damages becomes the sole responsibility of the Builder.

16 Approval Process

Prior to construction and/or applying to the City for a development permit, the Builder is responsible to:

- inspect the lot (concrete, fence, service valve etc.) for existing damage. The Builder must submit a pre-construction lot report (with or without damage) in LotWorks as soon as possible (weather dependent) as well as submit the required information described below (see Application Submission Requirements) to the Design Consultant who shall review the submission for Guideline compliance. The DC, at their sole discretion reserves the right to accept or reject any submissions. Lot specific acceptance of an application does not constitute a precedent for any subsequent acceptance on any future lots.
- Should disputes arise, the Developer's final decision shall take precedence
- The review process does not pre-empt any other required approvals and/or items required by the Developer, the City of Edmonton, and/or any other authorities which may have jurisdiction.

The Builder is solely responsible to ensure the requirements of all applicable laws, regulations, and statutes at the time of submission for review, have been achieved. Any reviews completed do not relieve the Builder/Homeowner from meeting the requirements of the version of the Alberta Building Code in force at the time of construction.

The Developer reserves the right, at its sole and unfettered discretion to at any time amend, modify, alter, or waive any or all terms, conditions, or requirements of the Woodhaven Edgemont Architectural Design Guidelines.

After acceptance, the plans may not be altered without re-submitting the proposed changes for review.

In order for a resident (after transfer of title) to obtain acceptance for any variance to the existing accepted review, the resident must contact their Builder and submit to the Builder, a detailed sketch and/or plan to scale plus identify all materials/style/colours to be used. The Builder is responsible for emailing the proposed changes to the Design Consultant for review (a \$100.00 + GST review fee will be applied). The submission must include the following:

- Legal land description: Lot/Block/Phase, area and address identified
- All proposed information pertaining to the request i.e. materials/style/colours/locations etc. must be identified for i.e. proposed sheds, changes to trees, shrubs, landscaping material etc.
- Detailed sketch and/or plan to scale (landscape or location of variance on the lot)

17 Application Submission Requirements

The Builder shall email one home submission per email with all pertinent PDF files attached. **The lot/block/phase** and content description must be identified in the subject line of each email (i.e. Lot 2/20/2b Woodhaven Edgemont change to plot plan). Incomplete submissions will be returned without review.

a. Completed Architectural Approval Form (attach as a separate PDF)

- Issued by the Developer, the form must indicate all manufacturers, material, style if applicable and correct colour name and number referenced to Cloverdale, General Paints Sherwin Williams, Benjamin Moore or Dulux. Builders must submit a fan deck, paint chip and/or brochure to the Design Consultant if requested for review.

b. Floor plans, all elevations, section etc. (attach as a separate PDF)

- Scale of 3/16" or 1/4" – 1'0" or metric equivalent for all four elevations (and any angled if applicable), floor plans and sections fully dimensioned, explicit and complete
- Show opening sizes, heights, all exterior finishes and building height envelope

c. Plot plan (attach as a separate PDF)

- Scale 1:200 metric, all elevations in metric geodetic
- Municipal address, Legal description of property and North arrow
- All property lines, designated and dimensioned (property line to curb face etc.)
- Size and location (all setbacks identified) of proposed building(s) in relation to property lines

- Elevation of top of footing, main floor, garage, final grade landscape at front corners, rear corners and sides of house if required
- All cantilevers (floor, bay windows, fireplaces etc.) and other structures
- Abutting streets, avenues, lanes, reserves, etc.
- Easements and utility right-of-ways labelled and dimensioned
- Service boxes, Developer permanent signage, other pre-existing items
- Arrows to indicate drainage directions
- Indicate the drainage slope by a % number at the 4 corners draining towards the respective property lines

d. Builder Options for Architectural Submission and Change Fee;

Option 1; Submit as per the Guideline 'Application Submission Requirements' noted above (Builders email Summa; the PDF attachments for the colour form, plot plan and elevations in one email per lot). One additional email with a minor change or 2 will be reviewed if required at n/c. Note: if multiple revisions are required to the original submission, a review fee may be applied to the 2nd and subsequent emails of \$100.00 + GST. at the sole discretion of the Design Consultant (Summa shall invoice Rohit Land for all change fees and Rohit Land will in turn collect from the Builder).

Option 2; Submit a pre-submission review of preliminary information (i.e. colour form) and once ready for the full submission, email the rest of the required information noted above (do not re-attach previously stamped information unless changes are required and are clearly identified).

Change fee: Summa shall charge a \$100.00 + GST extra submission fee (Summa does not invoice Builders directly) for each additional email received for the lot after the 2nd submitted (exception noted above in Option 1) email per lot has been reviewed (i.e. 3rd, 4th... email submitted for the lot will be charged \$100.00 + GST each at Summa's discretion).

Appendix "A" – Community and Fencing Map



Appendix “B” – Style Requirements

All homes must provide a professional representation of one of the styles below. All homes will be reviewed on a lot-by-lot basis and approved at the sole discretion of the Design Consultant.

The main, front porch and garage roof must blend with the style chosen and not appear to be ‘added on’ elements to the home.

The front entry area must be highlighted.

Chimneys, if required, should have an oversize width massing (from standard box out width).

The 2nd floor should be placed a minimum of 4’ back from the garage wall face to allow for the garage roof design to be integrated with the selected style. Exceptions will be reviewed on a lot-by-lot basis.

Window styles, along with the muntin bar configuration, must be compatible with the selected architectural style. Muntins (decorative grills) will be reviewed on a lot-by-lot basis) and appropriate window detailing are required on all high visibility elevations (front, rear and flankage). No curved or circular windows will be permitted.

The front entry must include one of: standard front door with a minimum top glass insert, transom, side light(s); or equivalent feature. Standard six-panel door (with no glass insert) will be accepted ONLY with a transom or sidelight(s).

Garage door style to be carriage house, barn or heritage (glazing required on all elevations). Corners of the overhead door must be straight (No angled corners permitted). Builder shall provide an accurate garage door image on the front elevation.



Pictures are general examples only. All Guidelines must be strictly adhered to and may not be reflected in the elevation examples above.

Architectural Styles for Woodhaven Edgemont:

Tudor:

Tudor-style homes tend to feature a variety of shapes and angles, side gables, along with a major cross-gable roughly around the middle of the home. Homes are typically 2-storey and traditionally can be quite large, even though they are supposed to evoke medieval cottages. The use of decorative half-timbering is common, which means that building timbers are partially exposed, surrounded with a complementary material. Other key features include: steeply pitched roof lines, tall narrow doors, vertically orientated windows, and generally a lack of overall elevation symmetry while maintaining a well-balanced, vertical oriented design.

Design Features

- Minimum 7:12 roof pitch; suggested minimum 9:12, particularly on front elevation
- Some secondary roof lines may not require a minimum 7:12 roof pitch if appropriate to elevation
- Minimum 12" overhang
- Beam-like elements and/or battens in the gable and/or wall (minimum width of 6", recommend 8")
- Textured or crezone panel detailing in gable and/or walls
- Masonry detailing minimum 42" high (full garage door height masonry recommended)
- Shadow boards minimum 6" Smartboard or equivalent
- Minimum 8" wall batten detailing (unless 6" is appropriate to elevation) Smartboard or equivalent
- Front porch column (minimum 12" x 12"), stepped/tiered columns allowed
- Taller than wide, vertically orientated windows



Pictures are general examples only. All Guidelines must be strictly adhered to and may not be reflected in the elevations above.

Craftsman:

Craftsman style homes were an important style until the 1920's. The Craftsman-style home is perfectly suited to cold northern winters where heat retention is important. The traditionally upright, square design and open floor plan centralize heat in the winter, while the broad front porch extending the width of the home offers summer outdoor space. Additionally, Craftsman-style homes incorporate well balanced and horizontally oriented lower-pitched roof lines, gabled roofs, deeply-overhanging eaves, exposed rafters, decorative brackets under eaves, front porches and usually tapered or square columns.

Design Features

- Minimum 6:12 roof pitch (Bungalows must be a minimum 7:12 pitch to enhance massing)
- Some secondary roof lines may not require a minimum 6:12 roof pitch if appropriate to elevation
- 24" overhang
- Enhanced porch area with horizontal orientation
- Front porch column (minimum 12" x 12"), stepped/tiered columns allowed
- Shake/shingle, gable and/or wall detailing (vinyl or composite shakes acceptable – no real cedar)
- Masonry detailing (minimum 42" high)
- Shadow boards minimum 6" Smartboard or equivalent
- Minimum 6" Smartboard or equivalent window battens
- Minimum 6" Smartboard or equivalent corner boards



Pictures are general examples only. All Guidelines must be strictly adhered to and may not be reflected in the elevation examples above.

Modern Heritage (must be pre-approved)

Modern Heritage homes are intended to provide a modern interpretation of the key features of Tudor or Craftsman styled architecture based on the size, shape, and material used on the home. This style of home offers some flexibility; however, incorporation of architectural elements from either style listed above is required. Features may include: use of decorative gables; enhanced columns, batters and/or roof lines; decorative features on eaves as well as embellished entry features.

Design Features

- Modern, clean lines applied to the front and high visibility elevations while using elements from the above lists for Tudor or Craftsman
- Style should emphasize overall vertical design detailing OR horizontal orientated detailing
- Proportionally pleasing, well-balanced front and high visibility elevations required
- Garage door offset due to garage front window will be allowed only if the window enhances the elevation
- Masonry minimum 42' height
- Overhang to be a minimum 12" but 18" may be required by Design Consultant (reviewed on a lot-by-lot basis)



Pictures are general examples only. All Guidelines must be strictly adhered to and may not be reflected in the elevation examples above.

Appendix “C” – Approved Colour Selections

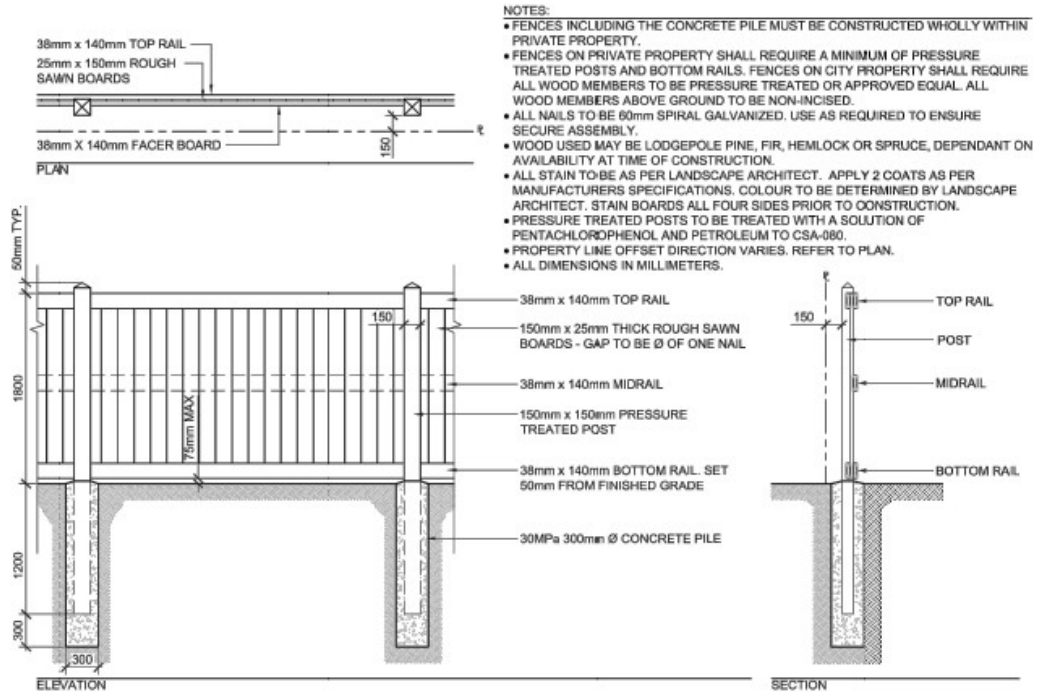
Elements	Colour Selections
Trim; Shadow Boards, Open High Visibility Fascia, Shutters, Window Battens, etc.	<p>Colour restrictions for all trim and fascia; no bright, intense or very light yellowish-creams, yellows, orange/rusts, reds, blues, purples or any other similar colours (dark blues, dark greens/grey greens etc. will be considered for approval on a lot-by-lot basis). DC reserves the right to approve or disapprove any colour scheme submitted.</p> <p>Fiber Cement products, Smartboard or Cedar-like elements (NO Real Cedar) in colours compatible with home colours (no aluminum or vinyl).</p>
Non-High Visibility Fascia (covered)	Minimum 8” aluminum acceptable if matching high visibility fascia colour.
Soffit / Rainware	Not Approved; Pinkish White Ivory, Cream, Maize, Wedgwood Blue, Heron Blue, Ivy, Forest Green, Burgundy, as well as restrictions identified under ‘Trim’; or any similar colours. Similar colours will be reviewed on a lot-by-lot basis.
Front Door(s)	Darker, bold colours will be considered on a lot-by-lot basis i.e. dark red, dark gold, dark rust etc.
Garage Door(s)	Noticeably lighter or darker than the siding colour used. Exact colour match to the siding colour and white garage doors are NOT permitted.
Corner Boards	Corner board colours must be same or compatible with wall colour and meet the style requirements; see Appendix “B”.
Vinyl Colours; Gentek	Approved; Dark Drift, Harvest Wheat, Saddle Brown, Espresso, Mountain Arbor, Moonlit Moss, Coastal Blue, Midnight Surf, Windswept Smoke, Venetian Red, Iron Ore (a sample of all new/unmentioned colours must be submitted to the Design Consultant for pre-approval)
Mitten	Approved; Timber Bark, Sapphire Blue, Annapolis Blue, Regatta Blue, Chestnut Brown, Caribou Brown, Sahara Brown, Coffee Bean, Grenadier Green, Aviator Green, Muskoka Green, Olive Green, Rain Forest, Spring Moss, Arizona Tan, Khaki Brown, Richmond Red, Lighthouse Red, Rockaway Grey, Gunmetal Grey, Danish Gold, Eggplant (a sample of all new/unmentioned colours must be submitted to the Design Consultant for pre-approval)
Royal / Monarch	Approved; Ironstone, Granite, Weathered Gray, Premium Storm, Shamrock, Tree Moss, Premium Cypress, Wedgwood Blue, Marine Blue, Heritage Blue, Midnight Surf, Natural Cedar, Olive Wood, Premium Pebble Clay, Bark, Toasted Almond, Walnut, Cocoa, Premium Sable, Redwood (a sample of all new/unmentioned colours must be submitted to the Design Consultant for pre-approval)
Kaycan	Approved; Brick, Cabot Red, Colonial Red, Mahogany, Pecan, Cabot Brown, Castlemore, Manor, Evergreen, Cabot Blue Not Approved; Ivy Green, Midnight Blue. (new/unmentioned colours must be submitted to the Design Consultant for pre-approval)
James Hardie / Hardie Plank; (or equivalent)	<p>Approved; Cobble Stone, Monterey Taupe, Sandstone Beige, Autumn Tan, Timber Bark, Chestnut Brown, Khaki Brown, Woodstock Brown, Mountain Sage, Iron Gray, Heathered Moss, Boothbay Blue, Evening Blue, Traditional Red, Countrylane Red</p> <p>Not Approved; Arctic White, Sail Cloth, Woodland Cream, Soft Green, Harris Cream, Tuscan Gold, Parkside Pine. / Navajo Beige (approved for trim only). (a sample of all new/unmentioned colours must be submitted to the Design Consultant for pre-approval)</p>

Elements <i>continued</i>	Colour Selections <i>continued</i>
Vinyl Shakes; Nailite (or equivalent)	Colours NOT Approved = white, eggshell, linen, blush, light grey, yellow, orange, light-medium rust, blue, red, green; i.e. Forest, Cypress, etc. (a sample of any proposed colour if requested by the Design Consultant must be submitted for review)
Masonry – material /style /colour	<p>Masonry style and colour will be considered for approval only if suitable with the architectural style chosen and compatible with the other colours selected for the home. /// Very light or very contrasting masonry colour should be avoided /// NO white, beige, light grey or red coloured masonry permitted /// NO RIVER ROCK permitted. /// The Design Consultant reserves the right to reject any masonry colour / style. /// A sample of all new/unmentioned manufacturers / colours / styles must be submitted to the Design Consultant for pre-approval if requested.</p> <p>‘ELDORADO’ Approved; RoughCut (Moonlight, Vineyard Trail, Wheatfield, Brunello), Limestone (York, San Marino), Stacked Stone (Dark Rundle, Black River, Nantucket, Santa Fe, Alderwood, Pewter, Castaway, Chapel Hill), Broken Top (Willamette), Mountain Ledge Panels (Silverton, Russet), Bluffstone (La Plata, Mineret, Prescott, Coos Bay), Mountain Ledge (Bitterroot, Mesa Verde, Sierra), Fieldledge (Meseta, Andante, Padova), Hillstone (Lucera, Verona, Bergamo), Rustic Ledge (Sequoia, Saratoga, Saddleback, Clearwater) Shadow Rock (Somerset, Bronze, Teton, Chesapeake, Jasper), Country Rubble (Capri, Polermo), Cliffstone (Banff Springs, Lantana, Mesquite, Ponderosa, Manzanita, Montecito), Cobblestone, (Coal Canyon), LedgeCut33 (Beach Pebble).</p> <p>‘CORONADO’ approved; Appalachian Fieldstone (Dakota Brown), Canyon Ledge (Cape Cod Grey, Dakota Brown), Country Rubble (Golden Brown, Frontier Blend, Special Brown), Coronado Honey Ledge (Carmel Mountain, Rocky Mountain Rundle, Sioux Falls, Shasta), Eastern Mountain Ledge (Aspen, Carmel Mountain, Dakota Brown, Rundle, English Grey), French Country Villa Stone (Carmel Mountain, Verona), Idaho Drystack (Aspen, Grey Quartzite), Italian Villa Stone (Provo Canyon Gray, Portabella, Verona), Old World Ledge (Summerlin Blend), Quick Stack (Aspen, Coastal Brown, Carmel Mountain), Tuscan Villa Stone (Prairie Moss), Virginia Ledge (Aspen, Hillside, Storm Brown), Weathered Edge (Coal Canyon)</p> <p>‘BORAL (Cultured Stone)’ approved; Carolina Ledgestone (Silver Sand, Pewter Gray, Onyx Brown), Cobblefield (San Francisco, Gray), Country Ledgestone (Platinum, Shale, Honey, Walnut), Dressed Fieldstone (Bucks County), Weather Edge Ledgestone (Silverado), Southern Ledgestone (Gray)</p> <p>‘CENTURION STONE’ Approved Patterns (Ledge, Rubble, Rustic, Stack), Approved Colours (Appalachian, Brown, English, Grey, Kentucky, Mt. Rundle, Pennsylvania, Ohio)</p>
Railings; Front Porch and Rear High Visibility	Front; Metal only to be compatible with home style and chosen colours Rear; Metal with/without glass inserts, NO WOOD
Roof Venting Wind Turbines	Must be coloured (as close to matching roof colour as possible). Galvanized is not allowed. Elements must be located on the roof in the least visible spot possible, i.e. away from the street(s)/parks

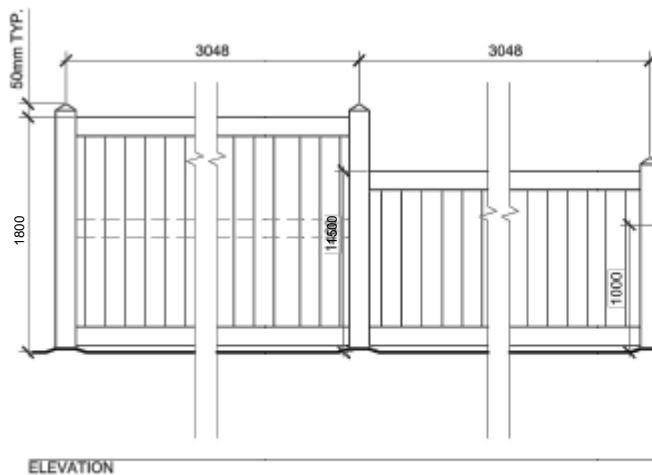
Appendix “D” – Fence Details

Colour = Cloverdale Autumn Sand, colour code EX201

Standard Wood Screen Fence Detail:



Step-Down Wood Screen Fence Detail:



NOTES:

- REFER TO CONSTRUCTION DETAIL LA405 FOR ALL METHODS AND MATERIALS REGARDING CONSTRUCTION OF WOOD SCREEN FENCING.

Appendix "D" – Fence Details *continued*

Chain Link Fence Detail

